

Permittee: Eric Houvenaeghel

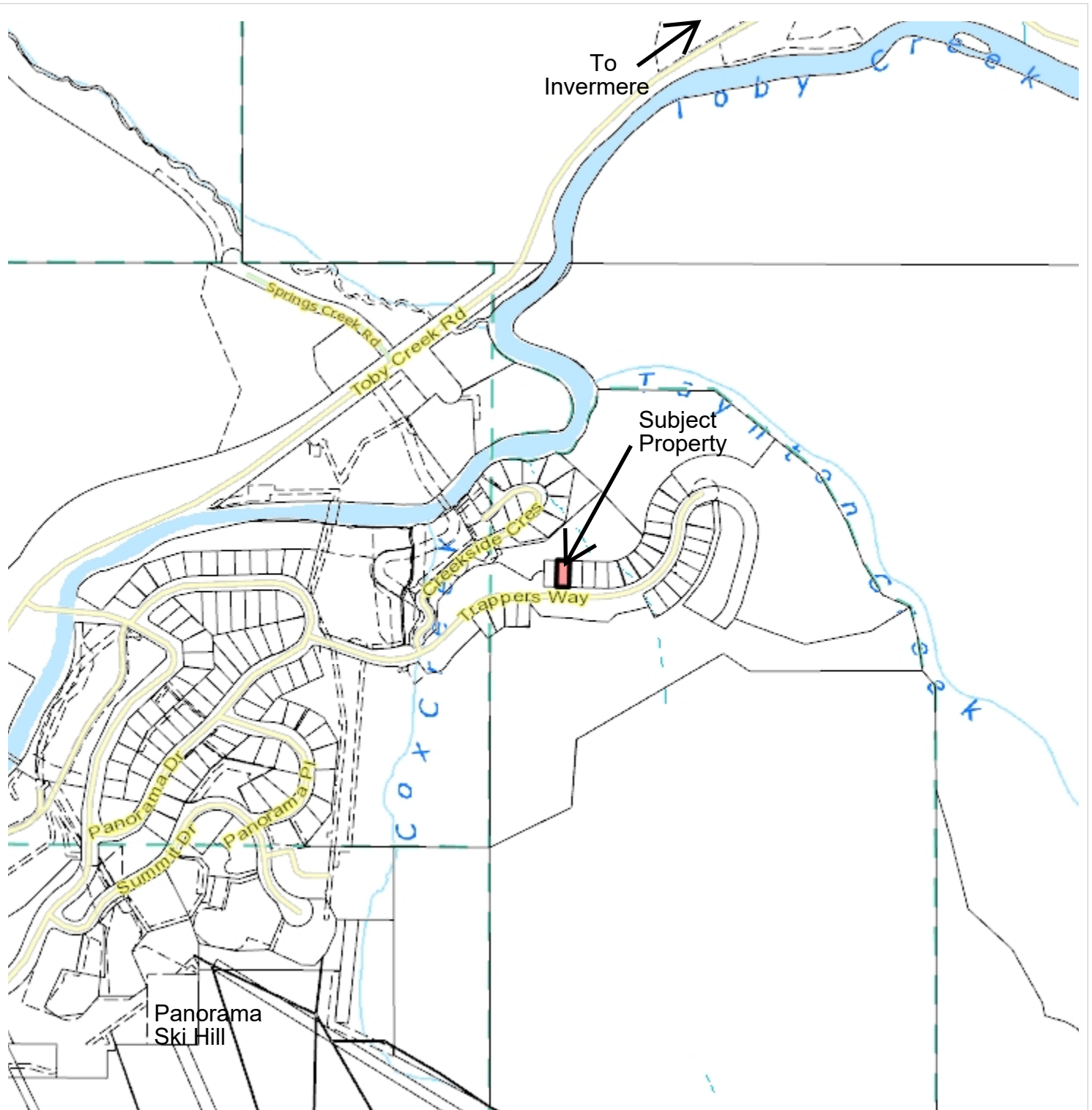
1. This Development Variance Permit is issued subject to compliance with all RDEK bylaws applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to and only to those lands described below:

Lot 9 District Lot 17108 Kootenay District Plan EPP19561
(PID 029-208-921)
3. Regional District of East Kootenay – Columbia Valley Zoning Bylaw No. 3255, 2023, Section 4.7 (4)(c) which permits a maximum height for a principal building of 10.5 m for a single pitch roof, is varied to 11.3 m for the proposed single family dwelling.
4. Regional District of East Kootenay – Columbia Valley Zoning Bylaw No. 3255, 2023, Section 4.7 (4)(d) which permits a maximum parcel coverage of 35%, is varied to 39% for the proposed single family dwelling.
5. The lands described herein shall be developed strictly in accordance with the terms and conditions of this Permit and in substantial compliance with the information submitted in the Development Variance Permit application received January 14, 2026.
6. This permit is subject to the proposal complying with all other bylaw requirements.
7. This Permit shall come into force on the date of an authorizing resolution passed by the RDEK.
8. This Permit is not a building permit.
9. If development authorized by this Permit does not commence within two years of the issue date of this Permit, the Permit shall lapse.
10. A notice pursuant to Section 503(1) of the *Local Government Act* shall be filed in the Land Title Office and the Registrar shall make a note of the filing against the title of the land affected.
11. It is understood and agreed that the RDEK has made no representations, covenants, warranties, guarantees, promises, or agreement (verbal or otherwise) with the developer other than those in this Permit.
12. This Permit shall inure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors, and assigns.

Authorizing Resolution No. _____ **adopted by the Board of the Regional District of East**
Kootenay on the **day of** **, 2026.**

Tina Hlushak
Corporate Officer

Location Map



Notes:

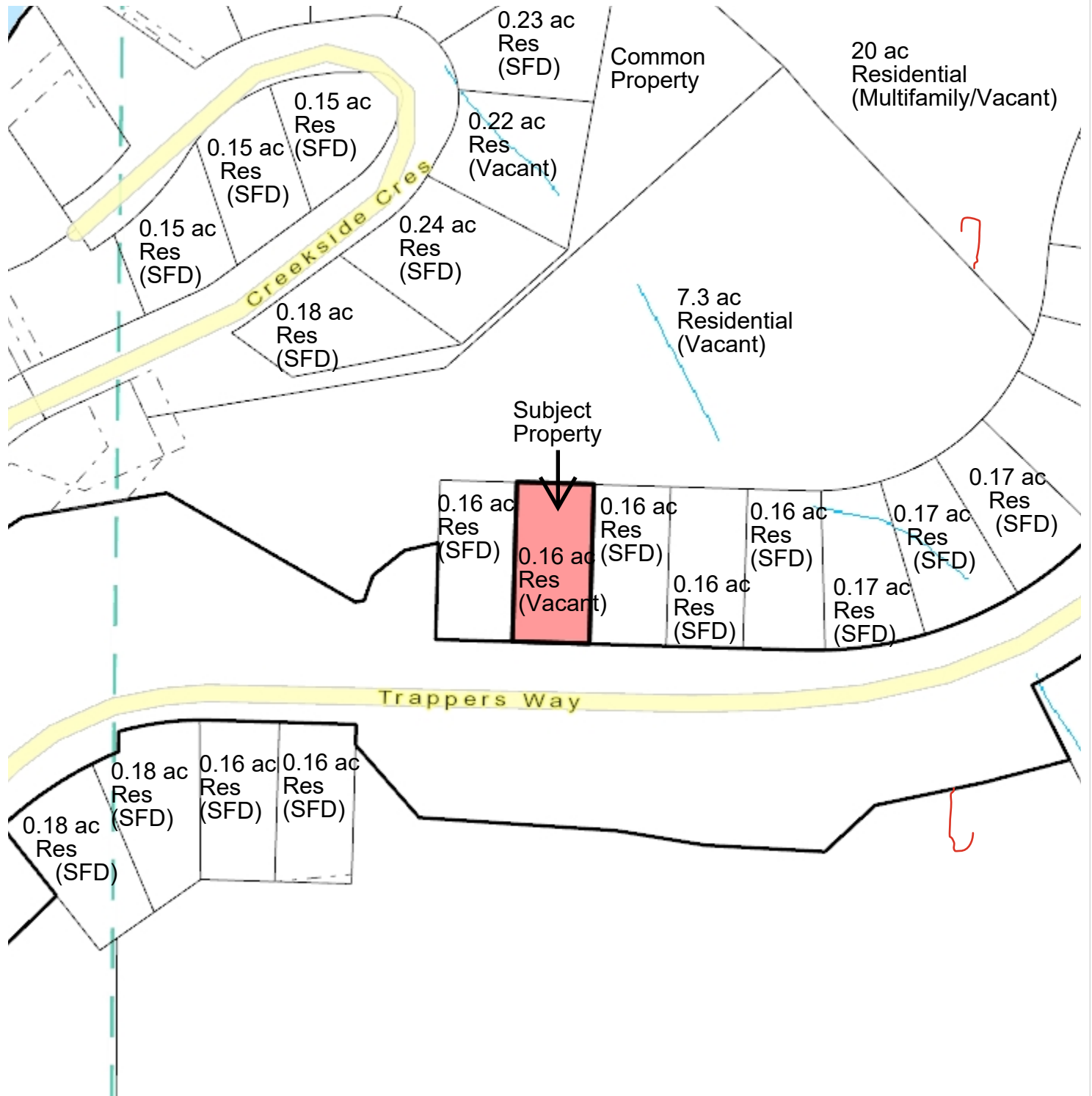


Scale = 1 : 12,000



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Land Use Map



Notes:

50 0 25 50 Meters

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RDEK GeoViewer - 3-4-2026 11:55 AM

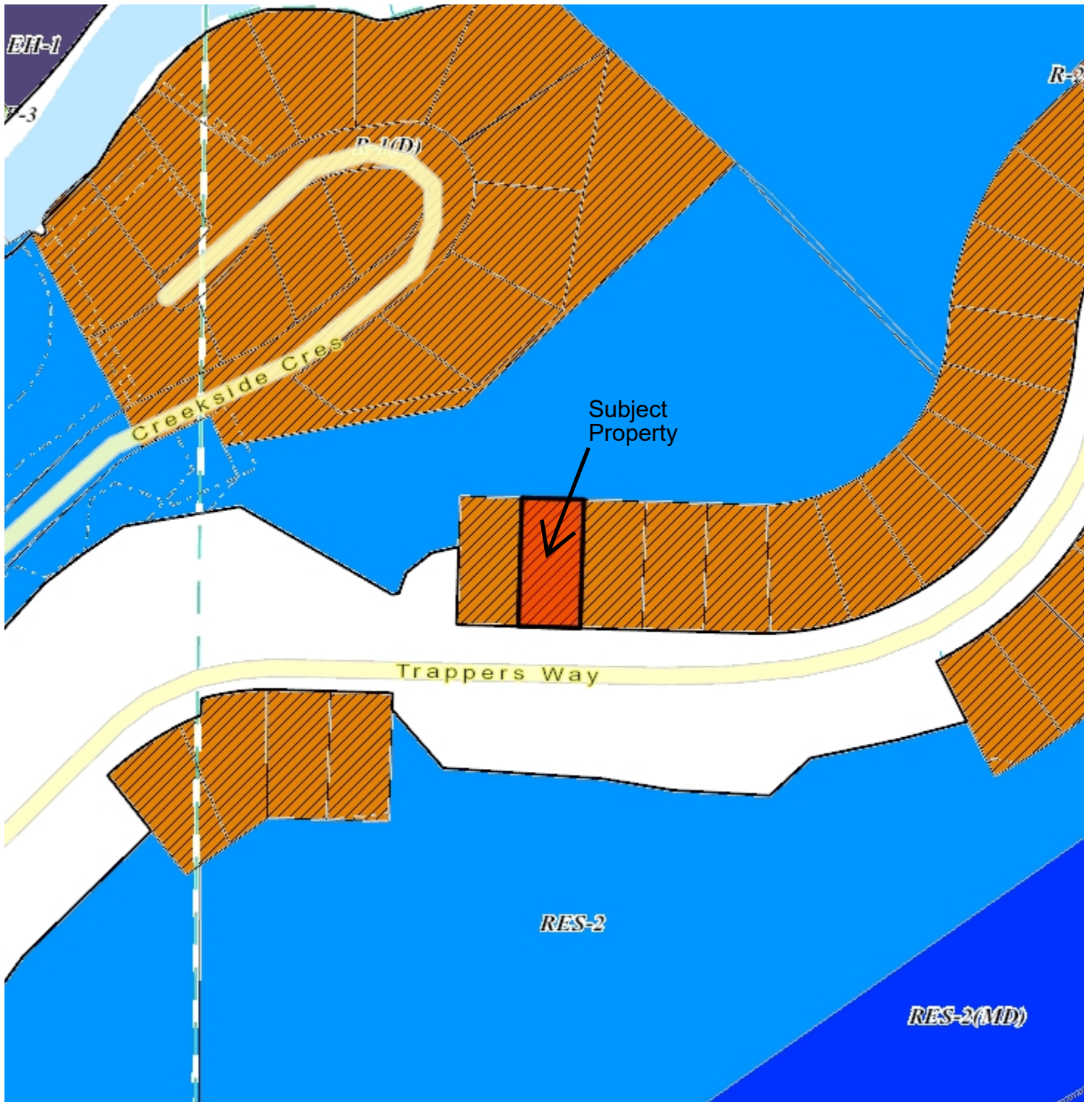
Scale = 1:2,000



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Zone Designation Map



Notes:

63 0 31 63 Meters

WGS_1984_Web_Mercator_Auxiliary_Sphere
RDEK GeoViewer - 3-4-2026 12:00 PM

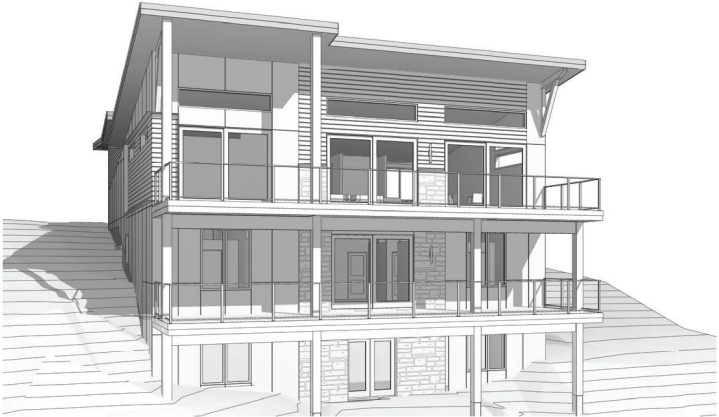
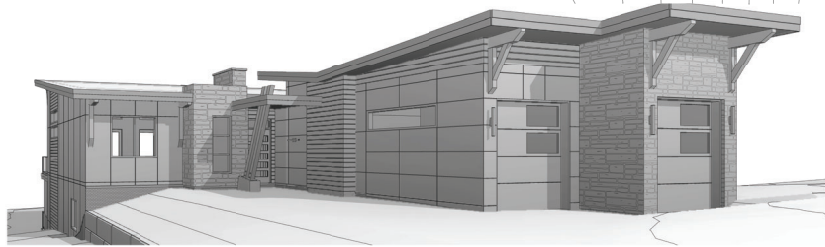
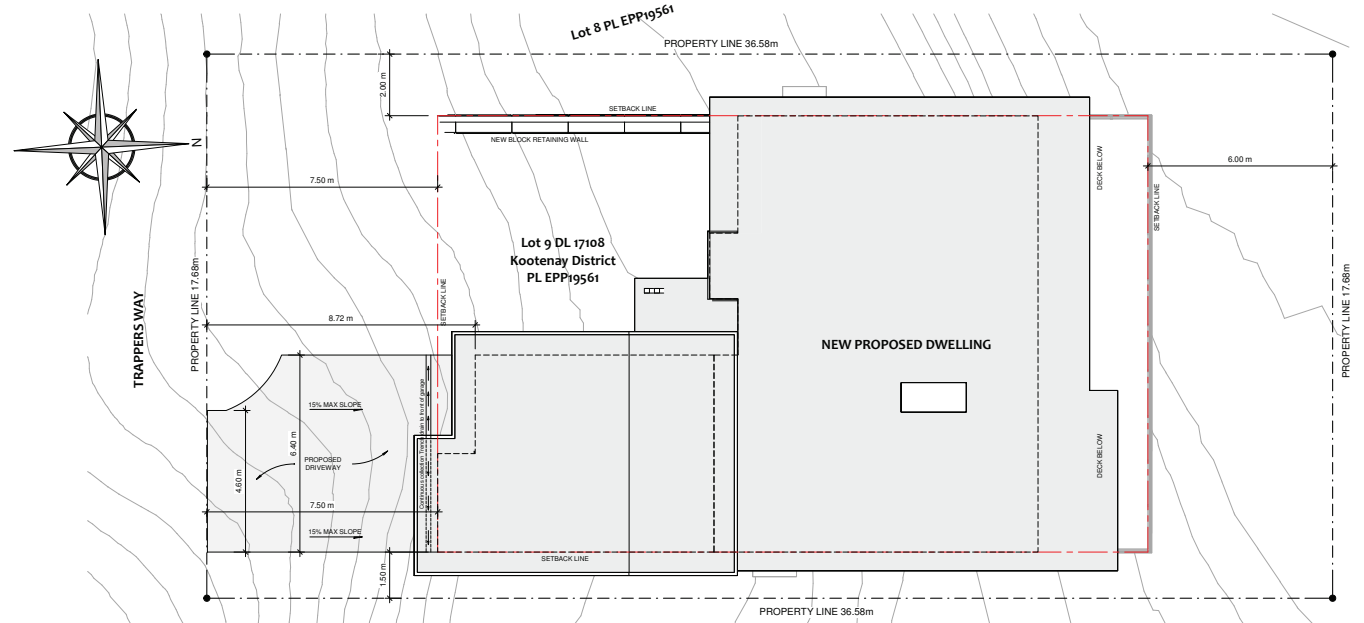
Scale = 1:2,500



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Site Plan



1 SITE PLAN

GENERAL NOTES

These notes constitute a part of the drawing package are intended to be understood before commencement of the project. All construction to comply with BC Building Code 2024 and applicable bylaws. All work shall be completed as good building practice and be consistent with the standards set out by each trades professional association. Contractor/Builder is responsible for verifying all dimensions and specifications before commencing construction. Written dimensions take precedence over scaled dimensions. Dimensions are from the face of wall on the exterior of the building to center of stud on interior partitions. S-S is not responsible for changes or variations from these drawings to site conditions or the structural drawings provided by the P.ENG. for Foot, Floor, Wall or Foundation, and is the responsibility of the Contractor/Builder to resolve discrepancies. Any and all design that requires Engineering is the sole responsibility and at the cost of the Owner.

ERRORS AND OMISSIONS:

S-S makes every effort to provide a clear, concise and complete set of construction documents. However S-S cannot assume liability for any errors or omissions which may affect construction. It is the responsibility of the Contractor/Builder to verify dimensions, details and specifications before construction. If an error or omission is found in this set of documents, please bring it to our attention and we will correct it and provide an amendment document immediately.

STRUCTURAL DESIGN AND ENGINEERING:

All load carrying elements including but not limited to joist, beams and columns within roofs, walls and floors must comply with the limits set out in Part 9 of the BCBC or be designed by P.ENG. The design of this building will require the professional assurances of an Engineer for the Roof System, Floor System, Beams and Foundations.

CONSTRUCTION SITE NOTE:

The Contractor/Builder is responsible for the correct positioning of the house on the site. Driveways, walkways, steps, retaining walls and all other site works to be verified once finished grade is established in relation to the top of foundation wall. Finished grading of all surfaces are designed to slope away from the building.

FOUNDATIONS:

Foundations shall be concrete on solid undisturbed or compacted bearing and below frost line. Unless otherwise noted the compressive strength of unreinforced concrete after 28 days shall be not less than 15 MPa for walls, columns, fireplaces and chimneys, footings, foundation walls, grade beams and piers, 20 MPa for floors other than those in garages and porches, and for garage and carport floors, and the exterior steps 32 MPa. Concrete used for garage and carport floors and exterior steps shall have an entrainment of 5 to 8%. Foundation Wall elevations are based off best information provided and relate to specific construction methods as seen in drawing details and assumes location of solid bearing and must be confirmed by builder. Where the exterior finished ground level is at a higher elevation than the ground level inside the foundation walls, exterior surfaces of foundation walls below ground level shall be damp-proofed. Soil Gas Prevention: All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system. Concrete Walls exceeding max heights for unreinforced concrete must be designed by a P.ENG. It is recommended that Footings and Foundations are of the reinforced type and therefore are designed by a P.ENG. Subsurface perimeter drainage to conform to 2024 BCBC and be connected to a dry well.

WOOD FRAMING:

Lumber for joists, rafters, trusses and beams shall be identified by a grade stamp to indicate its grade as determined by NLGA 2007. "Standard Grading Rules for Canadian Lumber." Owner/Contractor to inform all rough openings for doors, windows and other units with manufacturer's installation recommendations before commencement of construction. Security blocking to be installed at all exterior doors. Builder is responsible for proper framed backing behind studs, trusses, joist, ect. For the installation of rails, grab bars, cabinets, ect. Laminated columns supporting built-up beams or girder trusses to be same width as supported member unless otherwise noted by P.ENG. All beams, joists and columns are subject to engineering as roof loads may not be covered by the building code. All installation of Engineered products must follow specifications of P.ENG. structural drawings. Interior partitions over 6'-0" long running parallel to the floor direction shall have either double joist or cross framing for support. All trusses to be built-up 2 (or 2+) unless otherwise noted. All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity. Ends of wood joists, beams and other members framing into masonry or concrete shall be treated to prevent decay where the bottom of the member is at or below ground level, or a 12 mm air space shall be provided at the end and sides of the member. Wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or shall be separated from the concrete by not less than 0.02 mm polyethylene film or Type S roll roofing. Building Frames shall be anchored to the foundation. All spans to comply with the limits stated in the 2024 BCBC. Floors, Walls and Trusses to be braced, strapped and bridged for maximum rigidity.

PLUMBING AND ELECTRICAL:

The installation of plumbing and electrical must comply with local and regulations in all aspects. Outlet locations are to comply with current building code requirements. No electrical or plumbing fixture or outlet or any service run may be installed in or through fire separation walls between suites. All locations of drains shown in fixtures or bars are just symbols and should be reviewed with owner and contractor before any installation. Locations of drains are subject to the type of fixture being installed.

HVAC:

Design and siting of HVAC should be done in consultation with a professional as increased focus is being placed on energy savings and indoor air quality. Installation of entire heating system, whether electric, forced air or warm water, must comply with manufacturer's directions and local code and regulations. Fuel burning appliances, including furnaces, fireplaces and stoves, to be provided with combustion air supply from the exterior.

ROOF:

Except where it can be shown to be unnecessary a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the transfer of moisture from the space to the exterior. The unobstructed vent area shall be not less than 1/300 of the insulated ceiling area. Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area. Roofs shall be protected with roofing, including flashing, installed to shed rain effectively and prevent water due to ice damming from entering the roof. All drains, downspouts, and roof drains to be confirmed by truss supplier and contractor. All roof drains must conform to Part 7 of the BCBC. Eave protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum of 900 mm up the roof slope to a line not less than 300 mm inside the inner face of the exterior wall.

BUILDING ENVELOPE:

All walls, ceilings and floors separating conditioned space from unconditioned space, the exterior air or the ground shall be provided with thermal insulation, a continuous air barrier and a vapour barrier. Flashings shall be installed at every horizontal junction between cladding elements, every horizontal offset in the cladding, and every horizontal line where the cladding substrates change. Flash at all unprotected openings. Sealant shall be provided where required to prevent the entry of water into the structure. Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain. Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain. Minimum distance between finished grade and exterior cladding must be 89.

INSULATION:

Degree Days for Kelowna: 3400 Climate Zone: 5 (3000 to 3999 HDD) Minimum requirements: RSI is for effective insulation for total assembly (" denotes where insulation adjustments are permitted with HRV) Ceiling below Attics RSI 8.67 (R48-2") Roof Joist Assemblies (Cathedral Ceilings/Fill Roofs) RSI 4.67 (R-28.5) Exterior Walls (above grade) RSI 3.08 (R-17.5) Floors over unheated spaces RSI 4.67 (R-26.5) Foundation Walls RSI 2.38 (R-16.5) Unheated Floors Above Frost Line RSI 1.98 (R-11.1) Unheated Floors below frost line (Insulation not required) Heated Floors RSI 2.32 (R-13.2) Slabs-on-Grade with an Integral Footing RSI 1.98 (R-11.1)

FINISHING:

All interior and exterior finishes shall be specified by owner. Refer to the exterior finishes schedule on elevations pages for reference. It is between the contractor/builder and the owners to determine final finishes for interior & exterior. At a minimum, in each closet provide a shelf & rod system.

PENETRATIONS IN FIRE SEPARATIONS:

Where there may be penetrations through a fire resistant assembly, penetrations are to have firestops installed in accordance with BCBC 2024 3.19.2.1.9.1.1. "Standard Method of Fire Tests of Firestop Systems" has an F rating not less than the required fire-resistance rating of the fire separation.

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NO.	REVISION	DATE	BY
1	ISSUED FOR COORDINATION	2024.10.08	MJ
2	ISSUED BY A Review	2024.12.04	MJ
3	ISSUED BY	2025.02.04	MJ
4	SP revision (add level)	2025.03.20	MJ
5	Permit Application	2025.11.21	MJ
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PROJECT:
HOUVENEGHEL RESIDENCE

ADDRESS AND LEGAL:
Lot 9 DL 17108
Kootenay District
PL EPP19561

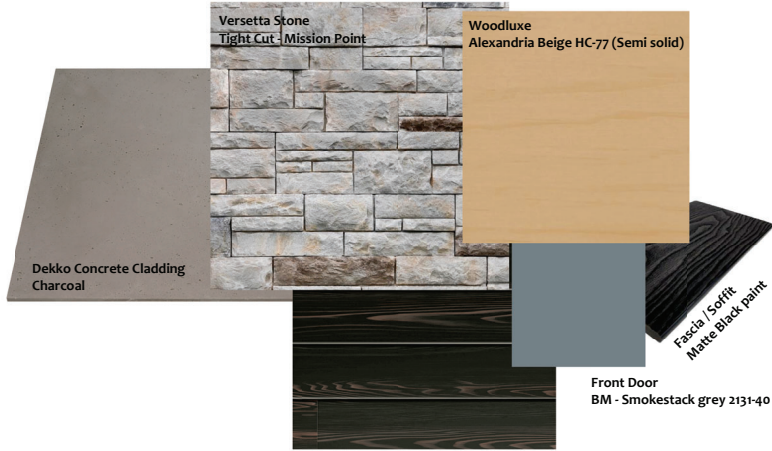
DRAWING TITLE:
SITE PLAN

SCALE: As indicated

REVISION:

SHEET NO.
A-1.0

Elevations

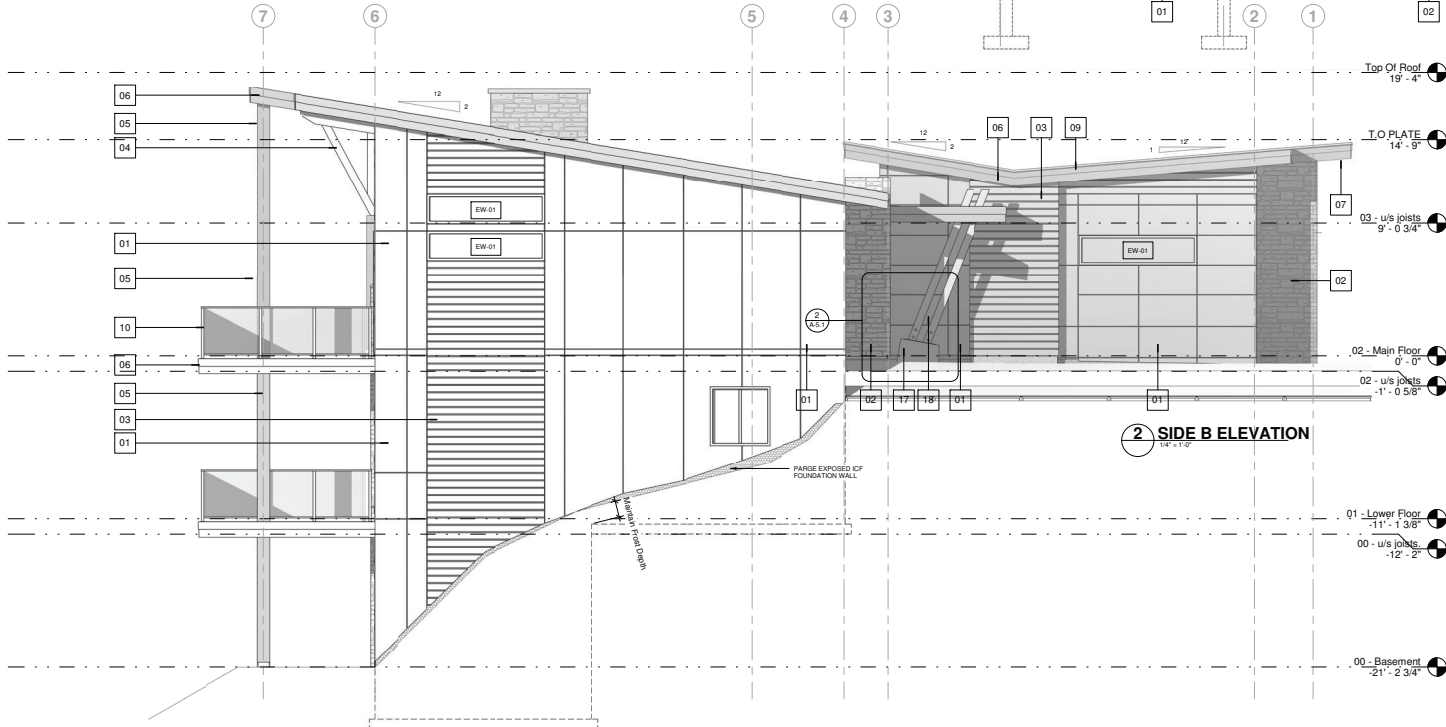


LUX wood products
Charwood

1 REAR ELEVATION
1/4" = 1'-0"



2 SIDE B ELEVATION
1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE

NOTE: All finishes & extent thereof to be finalized & confirmed by owner

- 1 Black ACM panel or similar comes with reveals
- 2 Masonry Veneer or Natural Stone with galv. metal mesh & mortar owner select color & make TBD
- 3 Woodgrain T&G aluminum or composite cladding 6" with V-Groove Reveal
- 4 Timber Decorative feature columns & beams Owner select stain TBD
- 5 10x10 Timber columns & beams Owner select stain TBD
- 6 Double Fascia (Smart trim, painted black)
- 7 Soffits painted Hardi Panel with strip venting
- 8 Black asphalt roofing shingles at 2:12 pitch Owner select color TBD
- 9 Black 2-ply SBS roofing membrane to Garage Roof
- 10 42" High Minimum Guards with glass
- 11 Exterior windows Black exterior with white interior finishes - See window schedule for sizes
- 12 Exterior Doors, Black exterior with white interior - see door schedule for sizes
- 13 Exterior Overhead Doors CW Sidelights
- 14 Exterior Front Door Package CW Sidelight & Transom Window 4'-0" x 8'-6"
- 15 Cap Flashing (Black) over parapet walls
- 16 Steel (powder coated) shroud around T&G cladding, wraps corner
- 17 Concrete pedestal for double column entry feature cw steel embed knife plates & black carriage bolts
- 18 (2) 6x6 timber columns (stain match others) on embedded knife plates & black carriage bolts

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NO	REVISION	DATE	BY
1	ISSUED FOR COORDINATION	2024.10.25	MJ
2	ISSUED BY & REVIEW	2024.12.04	MJ
3	ISSUED BY	2025.02.04	MJ
4	SP Revision (add level)	2025.02.04	MJ
5	Version Updates	2025.11.26	MJ
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PROJECT:

HOUVENEGHEL RESIDENCE

ADDRESS AND LEGAL:

Lot 9 DL 17108
Houveneghel Street
PLE #P19561

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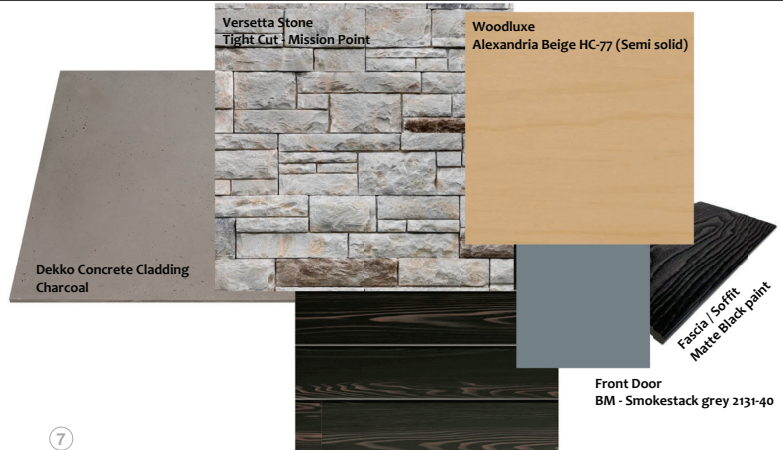
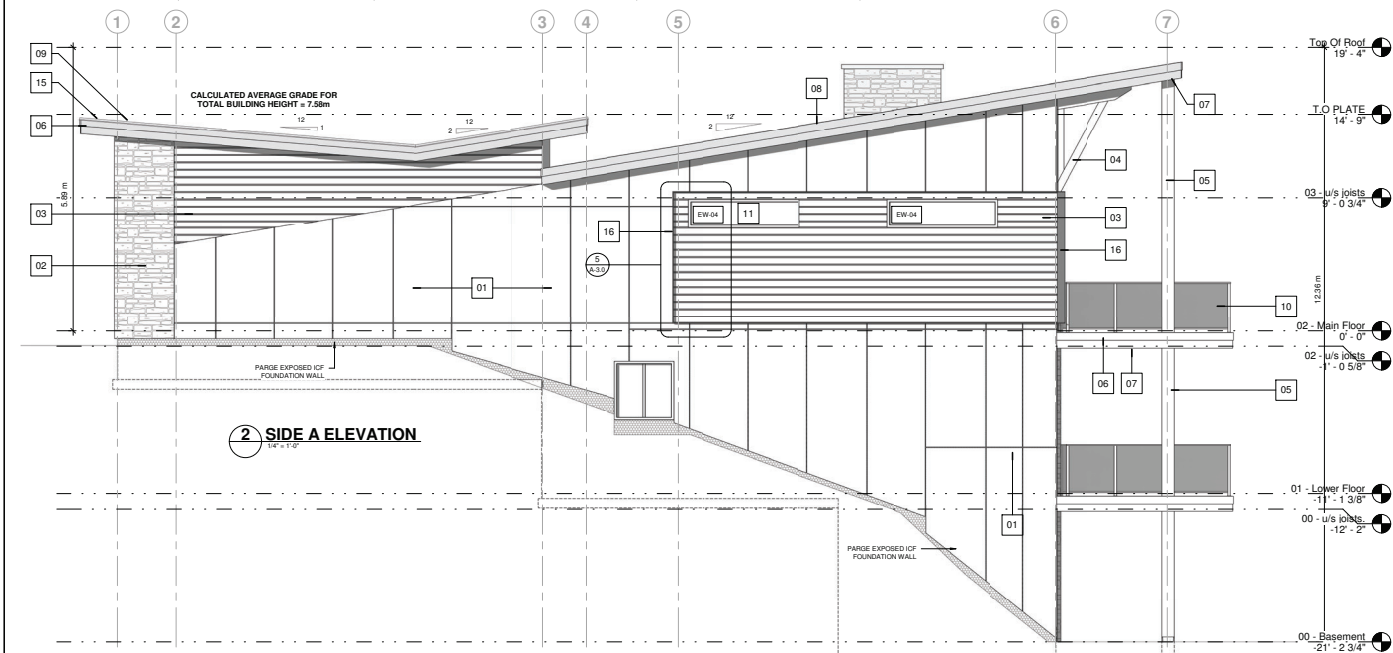
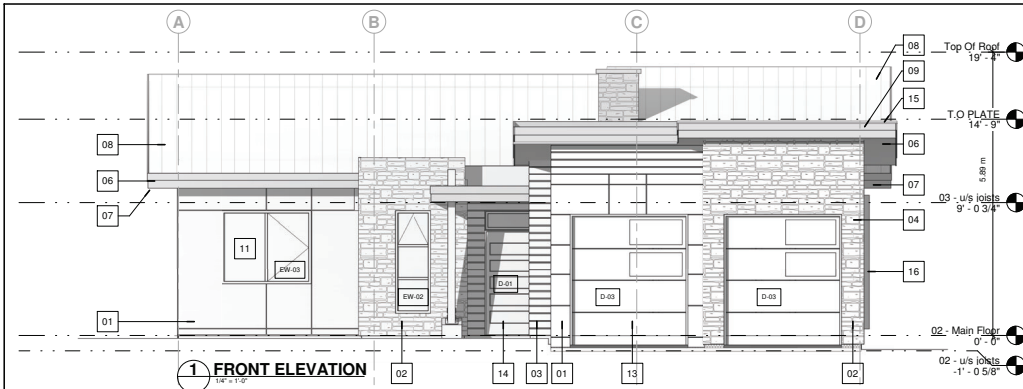
ELEVATIONS

SCALE: 1/4" = 1'-0"

REVISION:

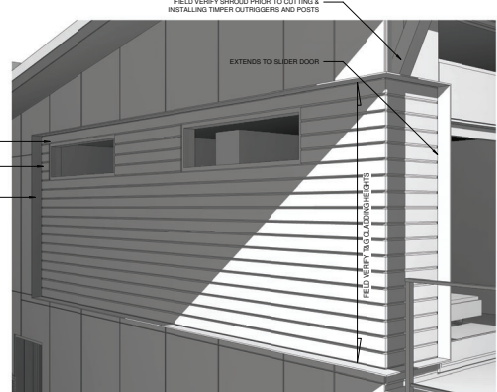
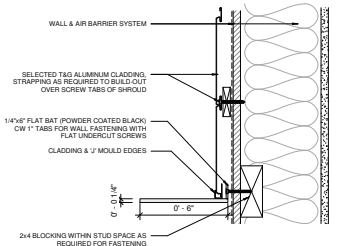
SHEET NO.

A-3.1



LUX wood products
Charwood

Front Door
BM - Smokestack grey 2131-40



EXTERIOR FINISH SCHEDULE

NOTE: All finishes & extent thereof to be finalized & confirmed by owner

- | | | |
|---|--|--|
| 1 Black ACM panel or similar comes with reveals | 8 Metal standing seam roofing at 2:12 pitch
Owner select color TBD | 15 Cap Flashing (Black) over parapet walls |
| 2 Masonry Veneer or Natural Stone with galv. metal mesh & mortar
owner select color & make TBD | 9 Black 2-ply SBS roofing membrane to Garage Roof | 16 Steel (powder coated) shroud around T&G
cladding, wraps corner |
| 3 Woodgrain T&G aluminum or composite cladding
6" with V-Groove Reveal | 10 42" High Minimum Guards with glass | 17 Concrete pedestal for double column entry feature
cw steel embed knife plates & black carriage bolts |
| 4 Timber Decorative feature columns & beams
Owner select stain TBD | 11 Exterior windows Black exterior with white interior finishes -
See window schedule for sizes | 18 (2) 6x6 timber columns (stain match others) on
embedded knife plates & black carriage bolts |
| 5 10x10 Timber columns & beams
Owner select stain TBD | 12 Exterior Doors, Black exterior with white interior -
see door schedule for sizes | |
| 6 Double Fascia (Smart trim, painted black) | 13 Exterior Overhead Doors CW Sidelights | |
| 7 Soffits Aluminum V-Groove with strip venting | 14 Exterior Front Door Package CW Sidelight &
Transom Window 4'-0" x 8'-6" | |

4 STEEL CLADDING SHROUD

ENSURE THE SHROUD THAT IS OVER THE DECK DOES NOT
CONFLICT WITH VINYL DECOR WRAPPING UP THE WALL.
THE SHROUD SHOULD BE INSTALLED AFTER DECORING &
PRIOR TO TAG CLADDING INSTALLATION FOR THE
CONCEALMENT OF THE FASTENERS. REFER TO FASTENER
DETAIL.

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CONTRACTORS MUST BE HELD UPON TO
VERIFY THE QUALITY OF MATERIALS,
METHODS, MATERIALS, SYSTEMS, METHODS,
TRANSITIONAL SEPARATIONS, CONNECTIONS,
MECHANISMS, ETC. VERIFY ALL DIMENSIONS
ON THE FIELD. REPORT ALL
DISCREPANCIES TO THE PROJECT DESIGNER.
CONTRACTOR SHALL BE RESPONSIBLE FOR
CONSTRUCTION.

NO	REVISION	DATE	BY
1	ISSUED FOR COORDINATION	2024.10.28	MJ
2	ISSUED BY & REVIEW	2024.12.04	MJ
3	ISSUED BY	2025.02.04	MJ
4	BY REVISION (add level)	2025.02.04	MJ
5	Revisions Application	2025.11.26	MJ
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PROJECT:
**HOUVENAEGHEL
RESIDENCE**

ADDRESS AND LEGAL:
Lot 9 DL 17108
Houvenaveghel Street
P.E. #19561

DRAWING TITLE:
ELEVATIONS

SCALE: As indicated

REVISION:

SHEET NO:
A-3.0



Notes:

63 0 31 63 Meters

WGS_1984_Web_Mercator_Auxiliary_Sphere
RDEK GeoViewer - 3-4-2026 12:13 PM

Scale = 1:2,500



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